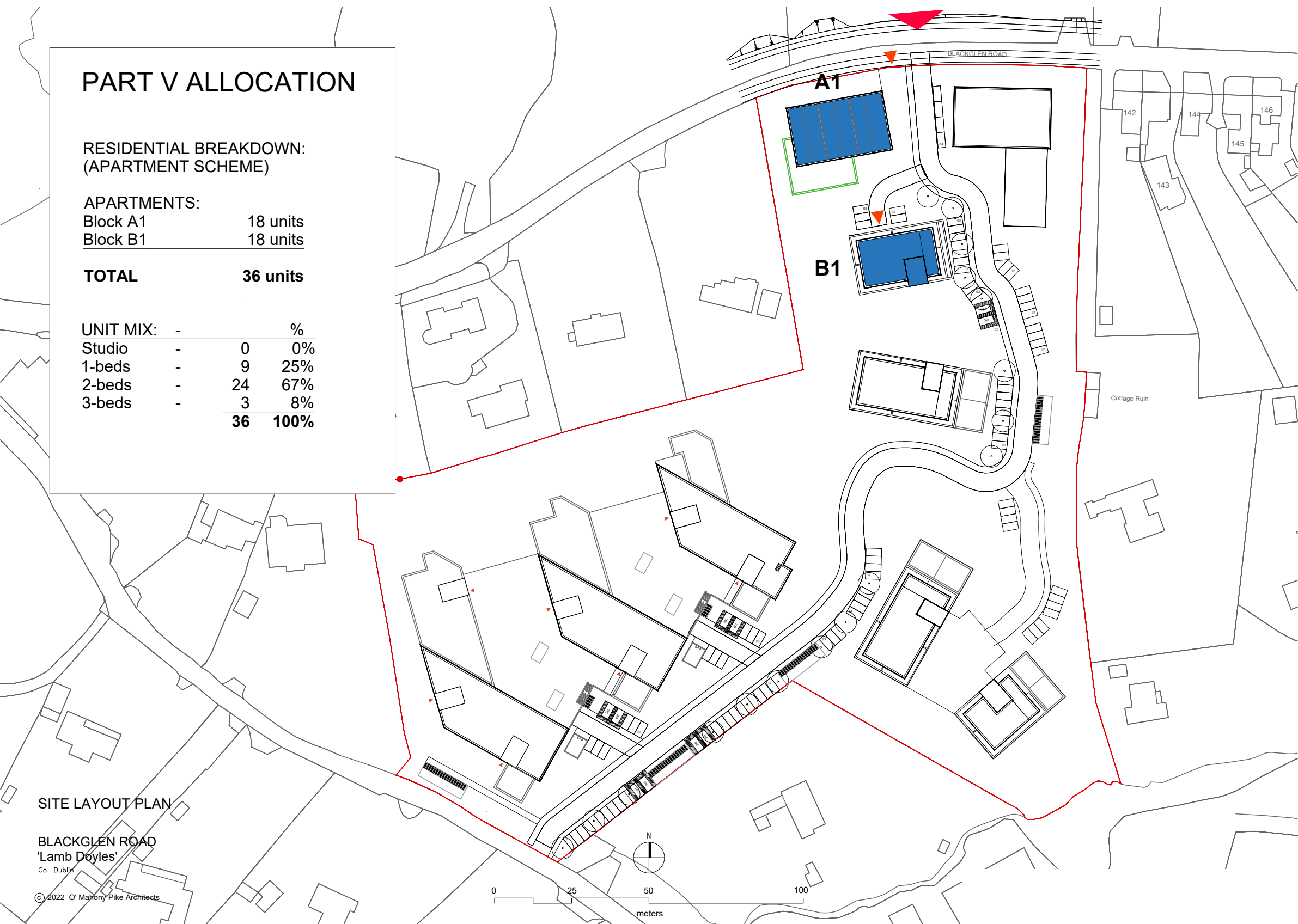


APPENDIX A

PART V PROVISION

PART V PROVISION



PART V PROVISION

BLACKGLEN ROAD
Lamb's Cross', Blackglen Road, Dublin 18

APARTMENTS | PART V MIX + BREAKDOWN

SCHEDULE OF ACCOMMODATION + AREAS



Key	Type	No. Beds	LEVEL 0 (Ground)	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL	Bedrooms
			No.	No.	No.	No.		No.
APARTMENT BLOCK A1 (4 Storey)								
	studio	1	0	0	0	0		0
	1 beds	1	0	1	1	1		3
	2 beds	2	0	5	5	5		30
	3 beds	3	0	0	0	0		0
Subtotal			0	6	6	6	18	33

GIA m2	0	543.6	543.6	543.6	1630.8
NIA m2	0	450.6	450.6	450.6	1351.8

Key	Type	No. Beds	LEVEL 0 (Ground)	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5 (PH)	TOTAL	Bedrooms
			No.	No.	No.	No.	No.	No.		
APARTMENT BLOCK B1 (2-5 Storey)										
	studio	1	0	0	0	0	0	0		0
	1 beds	1	0	0	2	2	2	0		6
	2 beds	2	0	0	3	3	3	0		18
	3 beds	3	0	0	1	1	1	0		9
Subtotal			0	0	6	6	6	0	18	33

GIA m2			535	535	535	0	1605.2
NIA m2			446	446	446	0	1337.8

TOTALS		DUAL ASPECT	
No.	%age	No.	%age
0	0.0%		
3	16.7%		
15	83.3%		
0	0.0%		
18	100.0%	12	66.7%

1630.8
1351.8

TOTALS		DUAL ASPECT	
No.	%age	No.	%age
0	0.0%		
6	33.3%		
9	50.0%		
3	16.7%		
18	100.0%	12	66.7%

1,605
1,338

PART V PROVISION



19th May 2022

RE: Blackglen Residential, Blackglen Road, Lambs Cross, Sandyford, Dublin 18 - Part V Calculations

Please find enclosed KSN Construction Consultant's Part V cost assessment for the above mentioned development.

Please note the following in relation to this letter:

- This letter should be read in conjunction with the O'Mahony Pike Part V Provision Booklet dated 20.04.22.
- The proposed Part V gross internal floor area is **3,236m2** as advised by O'Mahony Pike.
- The proposed 36 **units** are located in Block A1 - 18 Nr Units and Block B1 - 22 Nr. Units. They comprise of 9nr 1 beds, 24nr 2 beds, 3nr 3 bed units.
- In calculating our costs we have included for a contribution towards the cost of construction all site services and infrastructure works required for the development.
- Development costs have been calculated at c. 23.5%. This would include for all design team fees, development contributions, legal fees, site surveys, reasonable utility contributions, fire cert fees, etc.
- We have allowed a profit on cost figure of 7.5%.
- Future inflation beyond May 2022 is excluded from the attached costs.



Blackglen Road Part V Cost Calculation		
Construction Costs		€
Block A1 & B1 (36 Units / 3,236m2)		12,057,000.00
Infrastructure & Siteworks		540,000.00
Sub-Total Construction Costs (excl. VAT)		€12,597,000.00
Development Costs		
c. 23.5% of Construction Costs		2,927,000.00
Profit on Costs		
7.5% of all costs excluding land		1,165,000.00
Land Costs		13,500.00
Inflation		
Inflation beyond May 2022		Excl.
Sub-Total Development, Profit & land Costs (excl. VAT)		€4,105,500.00
VAT		
13.5% on Construction		1,701,000.00
23% on Development Costs		674,000.00
VAT on Land & Profit		N/A
Total Estimated Part V Costs (incl. VAT)		€19,077,500.00
Per Unit Break Down		€
1 Bed	50.4m2	382,198
2 Bed	80.8m2	483,175
3 Bed	102.6m2	555,501

Directors
Niall Newman BSc (Surv) MSCSI MRICS • Michael Slevin BSc (Surv) MSCSI MRICS • Donal Duffy BSc (Surv) MSCSI MRICS
Marion St. John BSc (Surv) MSCSI MRICS • Justin Travers MA BSc (Surv) MSCSI MRICS MCIArb Dip Proj Mgt Dip Con Law
Christopher Grady BSc (Surv) MSCSI MRICS Dip Proj Mgt • Damien McHugh BSc (Surv) MSCSI MRICS
Bosco Skelly BSc (Surv) MSCSI MRICS • Darren Flanagan BSc (Surv) MSCSI MRICS • Paul Brain BSc (Surv) MSCSI MRICS
Peter Reilly (Regional) BSc (Surv) MSCSI MRICS • Sean Durcan BSc (Surv) MSCSI MRICS

Associate Directors
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Bryan Lett BSc (Surv) MSCSI MRICS PgDip Law

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IS EN ISO 14001 2004
OHSAS 18001 2007

KSN Construction Consultants is a registered business
name for Kerrigan Sheanon Newman Unlimited

Directors
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PART V PROVISION (BLOCK A1)

PART V PROVISION

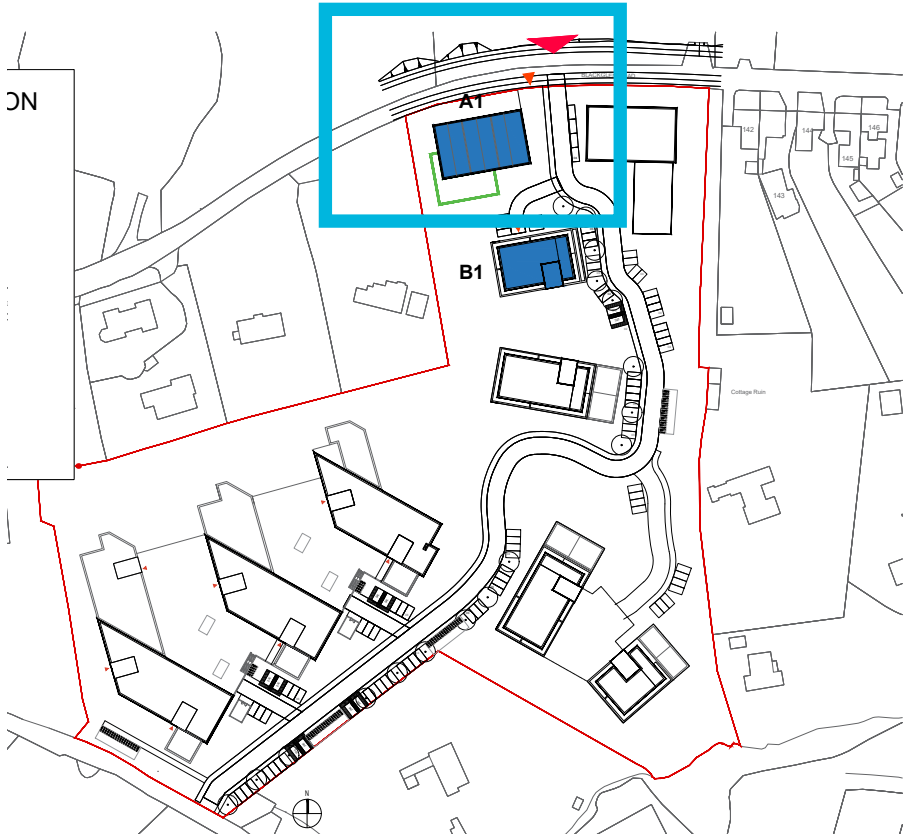
BLOCK A1

Job No.	20006	
Schedule of accommodation		
20006-OMP-XX-ZZ-SA-A-XX-0060001		

Blackglen Road
PART V - BLOCK A1
RESIDENTIAL NUMBERS
SUMMARY

Block	Staircore No.	Unit No.	Floor Level	Unit Description	Unit Area (m2)
A1	Core 1	1	1	1 Bed Apartment	50.4
A1	Core 1	2	1	2 Bed Apartment	80.8
A1	Core 1	3	1	2 Bed Apartment	80.8
A1	Core 1	4	1	2 Bed Apartment	76.8
A1	Core 1	5	1	2 Bed Apartment	80.8
A1	Core 1	6	1	2 Bed Apartment	80.8
A1	Core 1	7	2	1 Bed Apartment	50.4
A1	Core 1	8	2	2 Bed Apartment	80.8
A1	Core 1	9	2	2 Bed Apartment	80.8
A1	Core 1	10	2	2 Bed Apartment	76.8
A1	Core 1	11	2	2 Bed Apartment	80.8
A1	Core 1	12	2	2 Bed Apartment	80.8
A1	Core 1	13	3	1 Bed Apartment	50.4
A1	Core 1	14	3	2 Bed Apartment	80.8
A1	Core 1	15	3	2 Bed Apartment	80.8
A1	Core 1	16	3	2 Bed Apartment	76.8
A1	Core 1	17	3	2 Bed Apartment	80.8
A1	Core 1	18	3	2 Bed Apartment	80.8

BLOCK A1



PART V PROVISION



Level 01 (First Floor)



Level 02 (Second Floor)

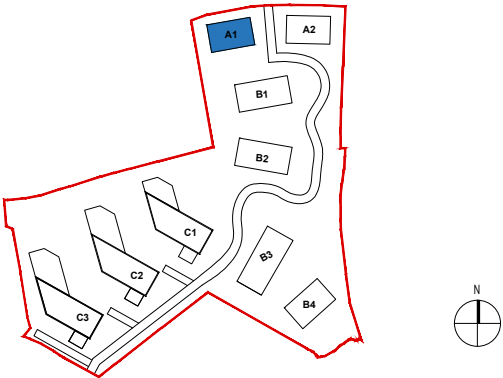
BLOCK A1

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

© 2022 O' Mahony Pike Architects

- Legend
- Studio Apartment
 - 1 Bed Apartments
 - 2 Bed Apartments
 - 3 Bed Apartments

Block A1 is designed to be Traditional Protected Lobby Approach as per B.S 9991.



PART V PROVISION



Level 03 (Third Floor)

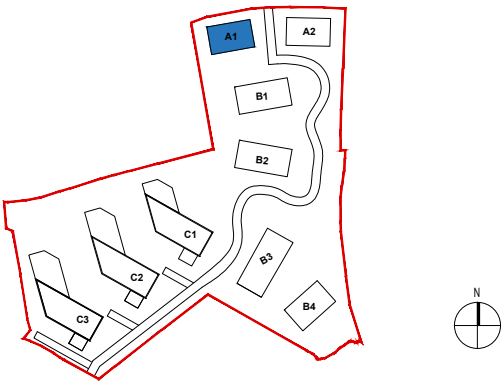
BLOCK A1

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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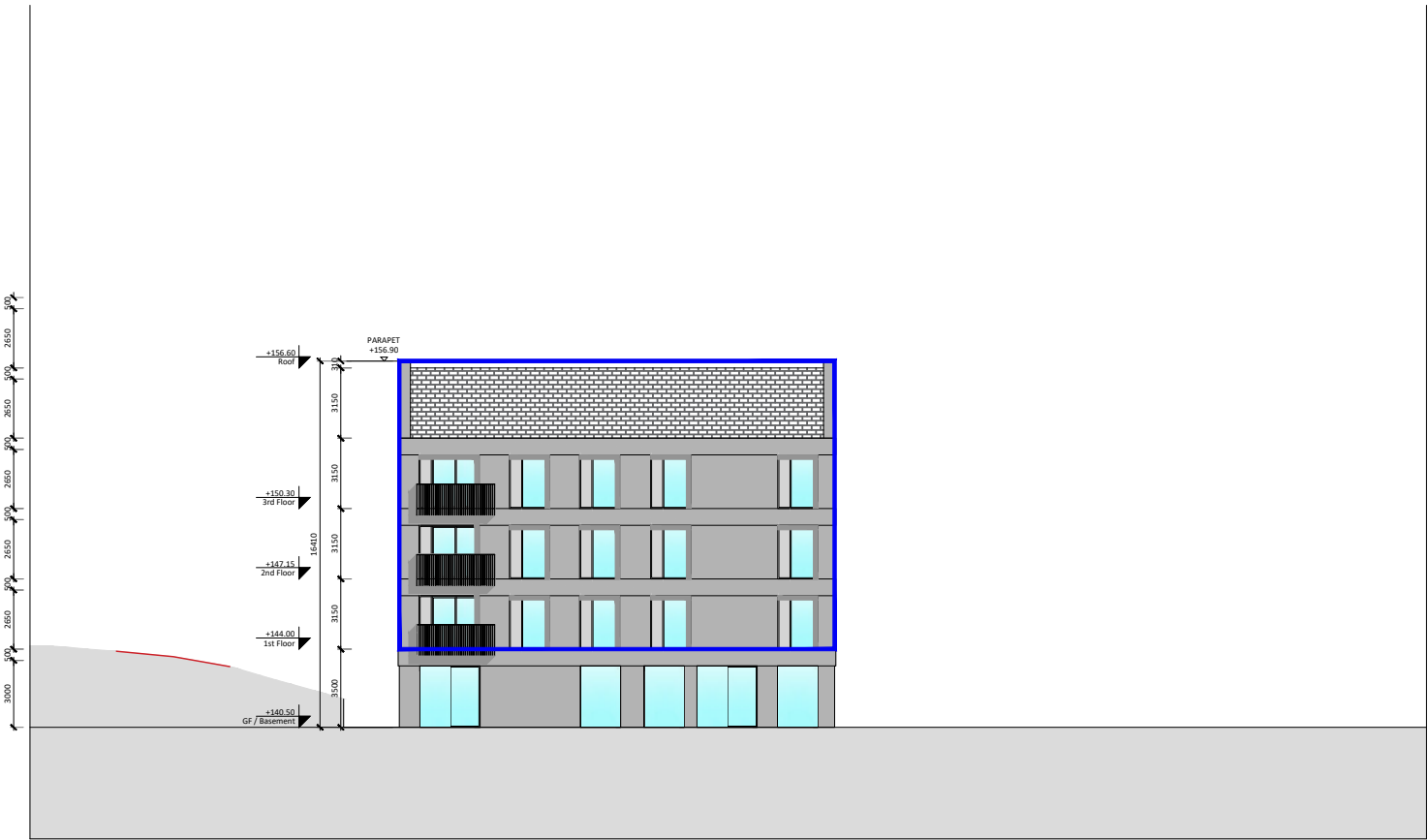
- Legend
- Studio Apartment
 - 1 Bed Apartments
 - 2 Bed Apartments
 - 3 Bed Apartments

Block A1 is designed to be
Traditional Protected Lobby
Approach as per B.S 9991.



PART V PROVISION

BLOCK A1 ELEVATIONS



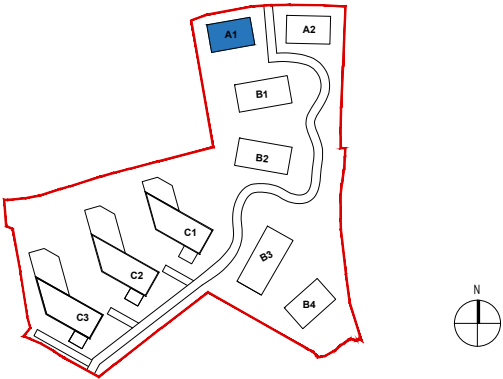
BLOCK A1 EAST ELEVATION

BLOCK A1

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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Block A1 is designed to be
Traditional Protected Lobby
Approach as per B.S 9991.



PART V PROVISION

BLOCK A1 ELEVATIONS



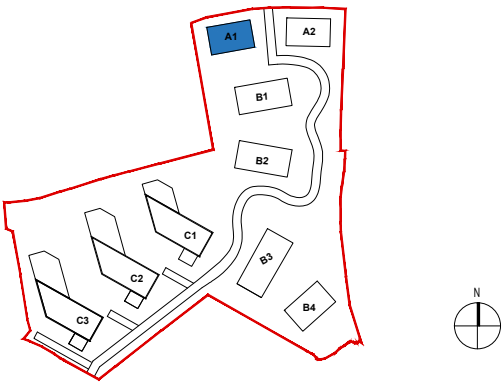
BLOCK A1 NORTH ELEVATION

BLOCK A1

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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Block A1 is designed to be
Traditional Protected Lobby
Approach as per B.S 9991.



PART V PROVISION

BLOCK A1 ELEVATIONS



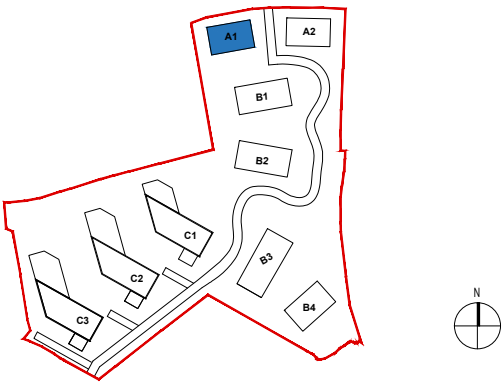
BLOCK A1 SOUTH ELEVATION

BLOCK A1

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

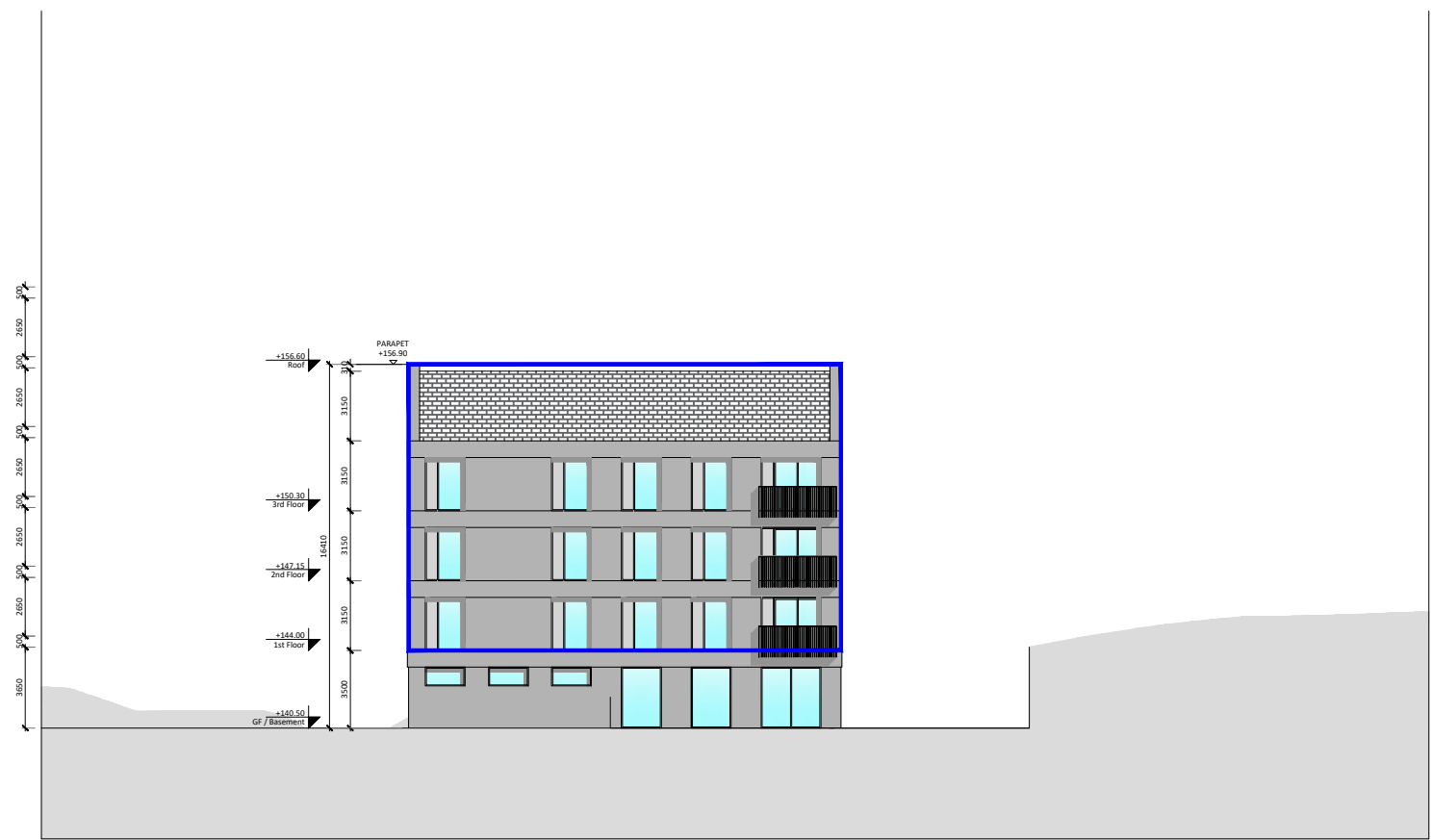
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Block A1 is designed to be
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Approach as per B.S 9991.



PART V PROVISION

BLOCK A1 ELEVATIONS



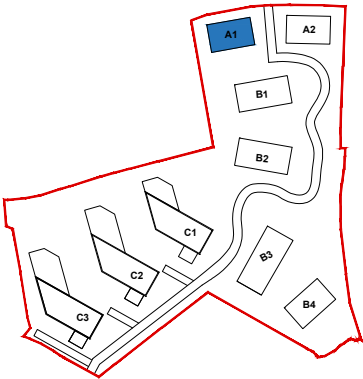
BLOCK A1 WEST ELEVATION

BLOCK A1

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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Approach as per B.S 9991.



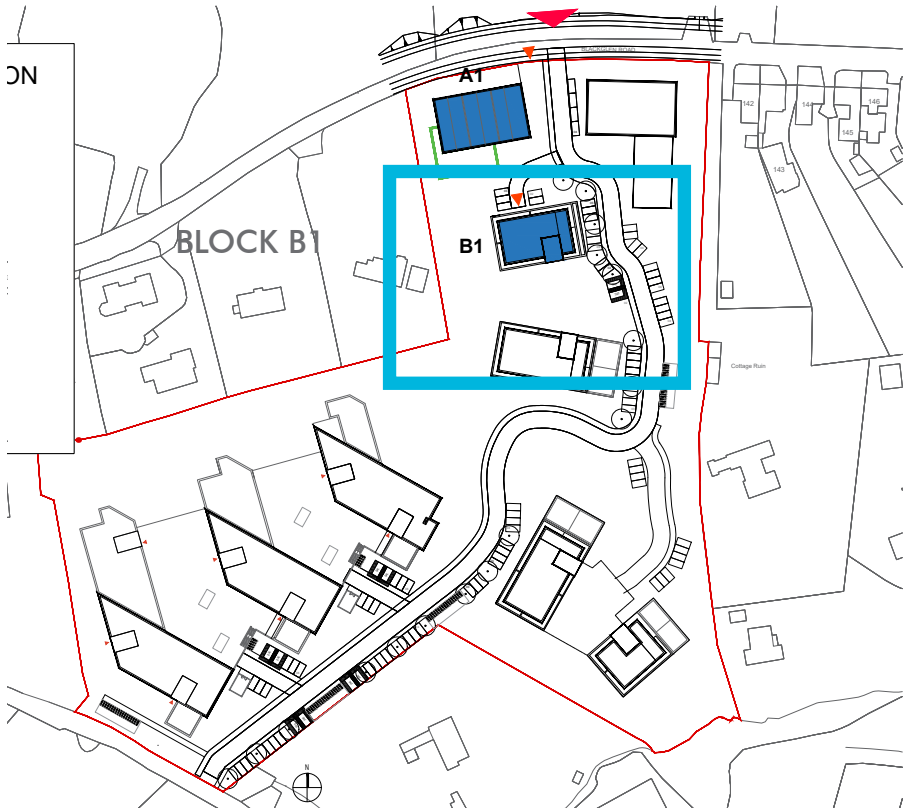
PART V PROVISION (BLOCK B1)

PART V PROVISION

BLOCK B1

Job No.	20006	
Schedule of accommodation		
20006-OMP-XX-ZZ-SA-A-XX-0060001		
Blackglen Road		
PART V - BLOCK B1		
RESIDENTIAL NUMBERS		
SUMMARY		

Block	Staircore No.	Unit No.	Floor Level	Unit Description	Unit Area (m2)
B1	Core 1	9	2	1 Bed Apartment	50.4
B1	Core 1	10	2	2 Bed Apartment	80.8
B1	Core 1	11	2	2 Bed Apartment	80.8
B1	Core 1	12	2	1 Bed Apartment	50.4
B1	Core 1	13	2	3 Bed Apartment	102.6
B1	Core 1	14	2	2 Bed Apartment	80.8
B1	Core 1	15	3	1 Bed Apartment	50.4
B1	Core 1	16	3	2 Bed Apartment	80.8
B1	Core 1	17	3	2 Bed Apartment	80.8
B1	Core 1	18	3	1 Bed Apartment	50.4
B1	Core 1	19	3	3 Bed Apartment	102.6
B1	Core 1	20	3	2 Bed Apartment	80.8
B1	Core 1	21	4	1 Bed Apartment	50.4
B1	Core 1	22	4	2 Bed Apartment	80.8
B1	Core 1	23	4	2 Bed Apartment	80.8
B1	Core 1	24	4	1 Bed Apartment	50.4
B1	Core 1	25	4	3 Bed Apartment	102.6
B1	Core 1	26	4	2 Bed Apartment	80.8



PART V PROVISION



Level 02 (Second Floor)

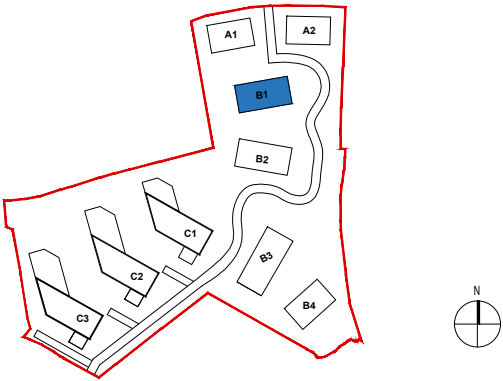
BLOCK B1
18th May 2022

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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- Legend
- Studio Apartment
 - 1 Bed Apartments
 - 2 Bed Apartments
 - 3 Bed Apartments

Block B1 is designed to be Traditional Protected Lobby Approach as per B.S 9991.



PART V PROVISION



Level 03 (Third Floor)



Level 04 (Fourth Floor)

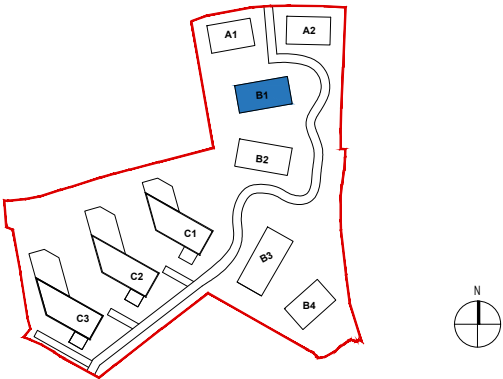
BLOCK B1
18th May 2022

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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- Legend
- Studio Apartment
 - 1 Bed Apartments
 - 2 Bed Apartments
 - 3 Bed Apartments

Block B1 is designed to be Traditional Protected Lobby Approach as per B.S 9991.



PART V PROVISION

BLOCK B1 ELEVATIONS



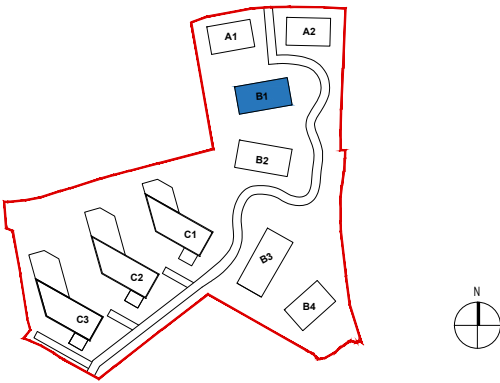
BLOCK B1 WEST ELEVATION

BLOCK B1
18th May 2022

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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Block B1 is designed to be
Traditional Protected Lobby
Approach as per B.S 9991.



PART V PROVISION

BLOCK B1 ELEVATIONS



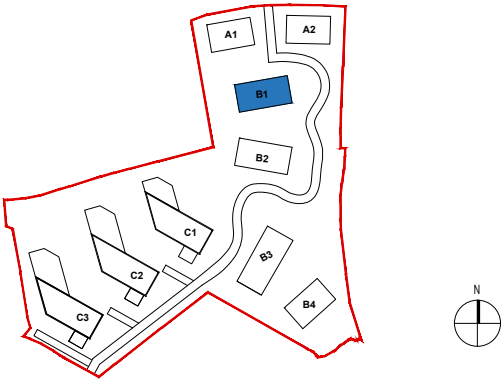
BLOCK B1 NORTH ELEVATION

BLOCK B1
18th May 2022

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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Block B1 is designed to be
Traditional Protected Lobby
Approach as per B.S 9991.



PART V PROVISION

BLOCK B1 ELEVATIONS



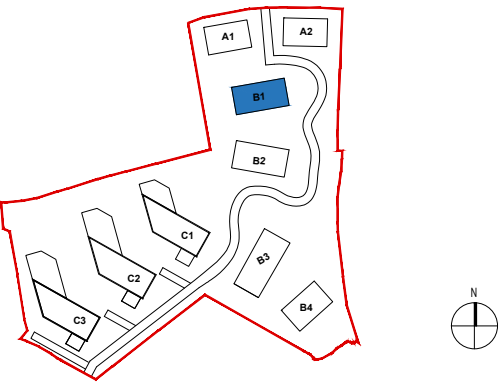
BLOCK B1 SOUTH ELEVATION

BLOCK B1
18th May 2022

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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Block B1 is designed to be
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Approach as per B.S 9991.



PART V PROVISION

BLOCK B1 ELEVATIONS



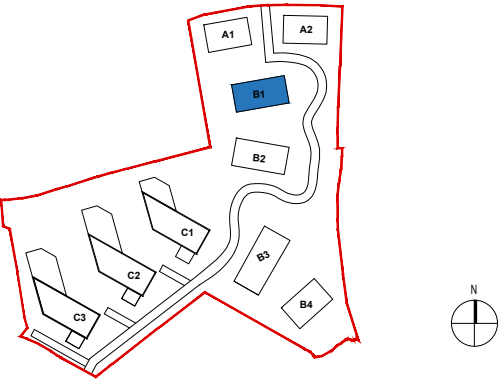
BLOCK B1 WEST ELEVATION

BLOCK B1
18th May 2022

BLACKGLEN ROAD
Lambs Cross
Co. Dublin

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Block B1 is designed to be
Traditional Protected Lobby
Approach as per B.S 9991.





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