



BOUNDARY TREATMENT PLAN

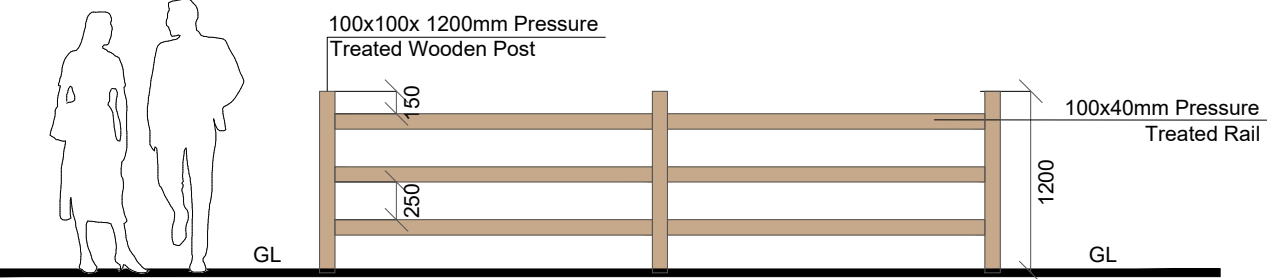
Strategic Housing Development, Blackglen Road

sc1:500

BOUNDARY TREATMENT DETAILS

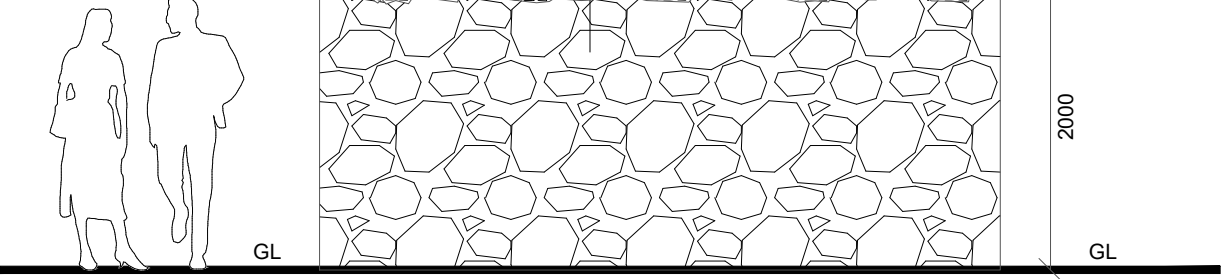
Boundary type 1

1.2m post and rail fence



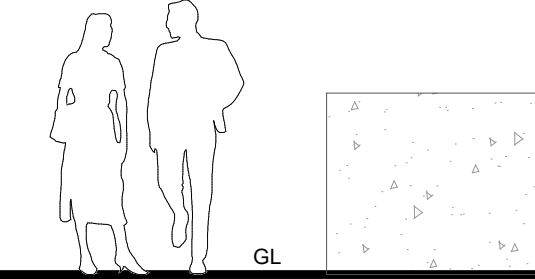
Boundary type 2

2m granite rubble



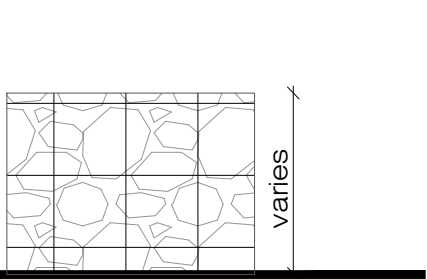
Boundary type 3

retaining wall (height refer to the plan)



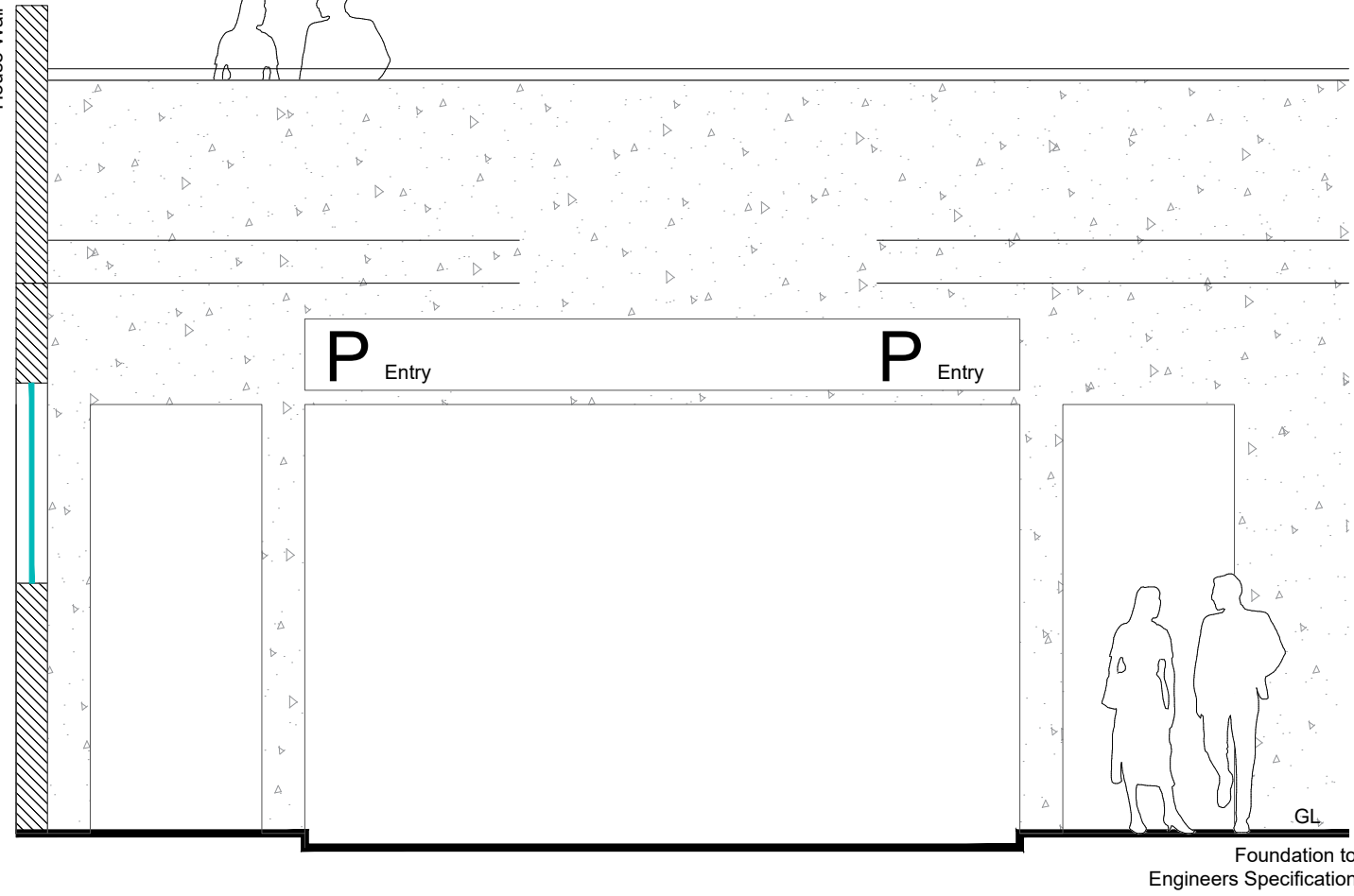
Boundary type 10

gabion wall (height refer to the plan)

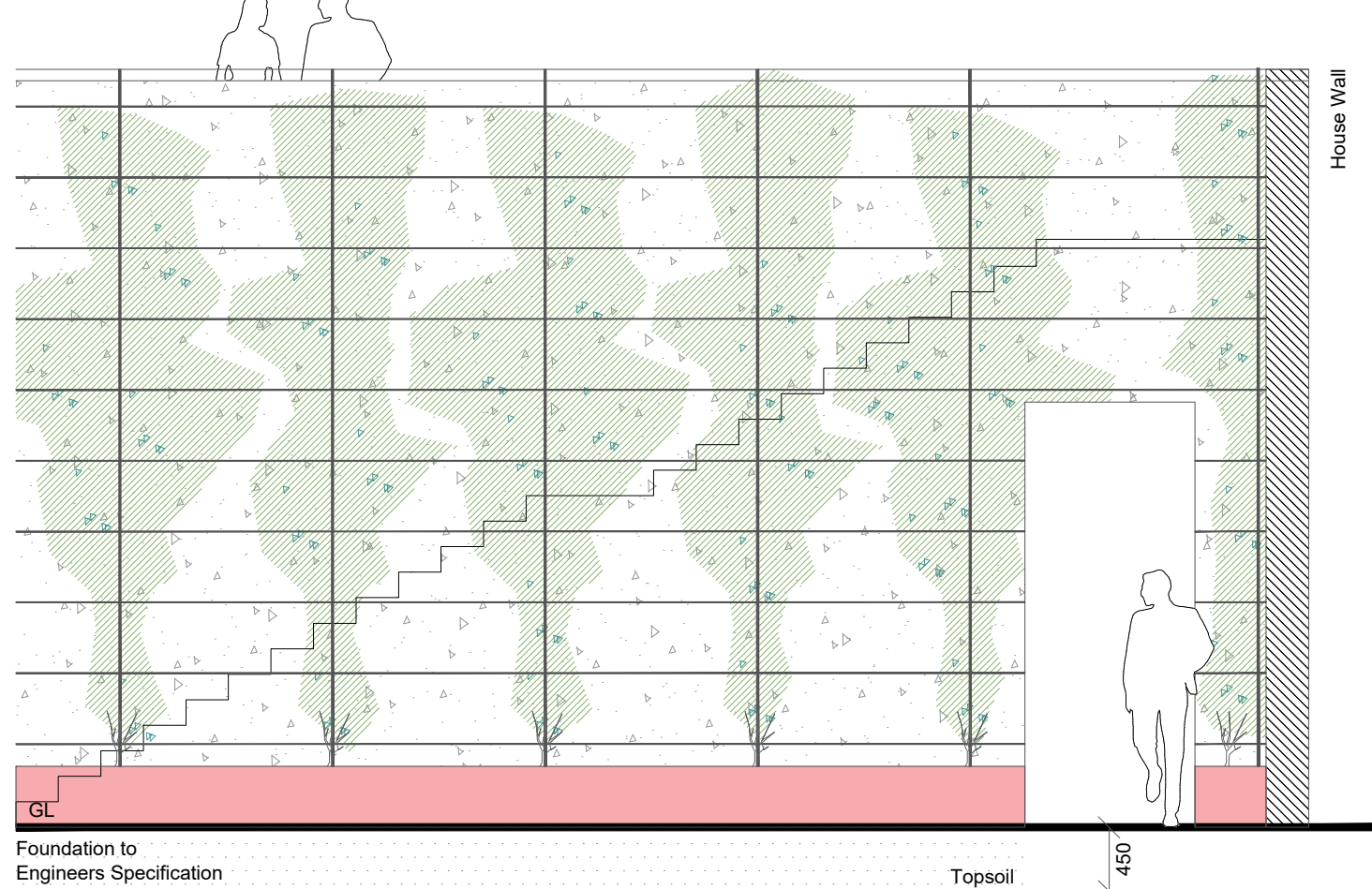


BOUNDARY TREATMENT DETAILS (CONTINUE)

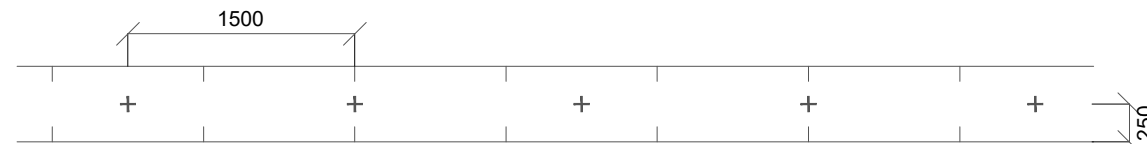
Boundary type 4
5.35m high plaster rendered block wall



Boundary type 5
5.35m high plaster rendered block wall with climbing plantings

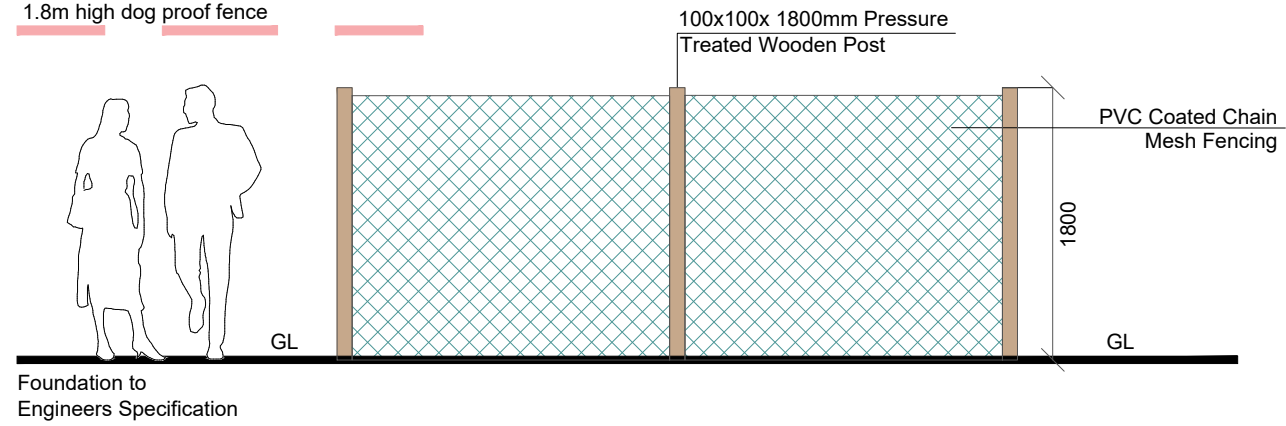


NOTE: Climbing plants to be planted as per planting schedule. Plants shall be 5m tall, and be shall conform to BS 3936 - Part 1. Nursery stock specification for trees and shrubs. Planting strip to be 500mm wide x 450mm deep with cultivated and evenly incorporated organic manure 100mm layer over area of strip, fertiliser 35g, 50mm depth bark mulch dressing on completion of planting.

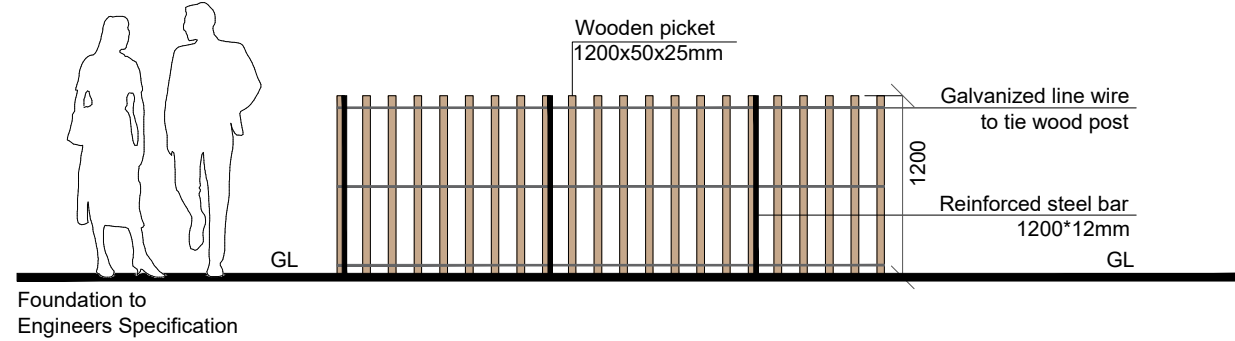


NOTE: All climbing plants shall be planted at the distance in 1.5m between them in a single row. Where indicated, plants shall be planted more dense.

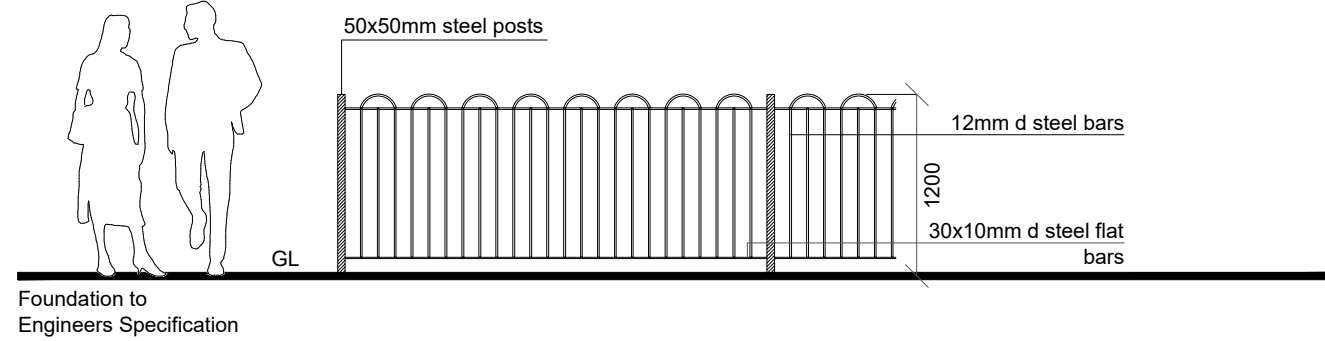
Boundary type 6
1.8m high dog proof fence



Boundary type 7
1.2m high picket timber fencing



Boundary type 8
1.2m high steel fence



LEGEND

BOUNDARY TREATMENT

- Site Boundary**
Application site 3.70 Ha outlined in red
- Land in ownership of applicant**
(circa 4.022 Ha outlined in blue)
- Lands subject to Letter of Consent**
- Boundary type 1**
1.2m post and rail fence
- Boundary type 2**
2m granite rubble
- Boundary type 3**
retaining wall (height refer to plan)
- Boundary type 4**
5.35m high plaster rendered wall
- Boundary type 5**
5.35m high plaster rendered wall with climbing plants
- Boundary type 6**
1.8m high dog proof fence
- Boundary type 7**
1.2m high picket timber fence
- Boundary type 8**
1.2m high steel fence
- Boundary type 9**
1.6m high galvanized steel fence

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gannon + associates

I 18/07/22	Boundary Treatment Plan	PS	JG
H 08/06/22	Boundary Treatment Plan	PS	JG
REV DATE	REVISION	DRAWN	CHECKED

CLIENT
Zolbury Limited

PROJECT TITLE
Proposed Strategic Housing Development, Blackglen Road, Sandyford, Dublin 18

PROJECT ARCHITECT
OMP Architects

SHEET TITLE Boundary Treatment Plan	SHEET SIZE A1
SHEET NO. 21106_LP_I_BT	REVISION I
SCALE @1:500	DATE July 2022
STAGE SHD Application	